

STANDARD ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes entries like '& #', '%', 'ACC.', 'A.D.A.', 'A.F.F.', 'ALT.', 'A.P.N.', 'BD.', 'BLDG.', 'BLKG.', 'B.O.C.', 'C.B.C.', 'CL or t', 'CLG.', 'CLR.', 'CONT.', 'CTR.', 'DBL.', 'DEMO.', 'DEPT.', 'DET.', 'DIA. or Ø', 'DIM.', 'DWG.', 'E', '(E)', 'EA', 'EEP', 'ELEC.', 'EQ', 'EQUIP.', 'E.W.', 'EXT.', 'F.A.', 'F.D.R.', 'F.E.', 'F.F.', 'FIN.', 'FL', 'F.L.F.', 'F.O.S.', 'FRP', 'FT.', 'GA', 'GSM', 'G.C.', 'GEN.', 'GFCI', 'GR.', 'GYP. BD.', 'H.B.', 'HDWD.', 'HDW.', 'H.M.', 'HORIZ.', 'HT.', 'I.D.', 'I.E.', 'INSUL.', 'INT.', 'L.', 'MAX.', 'MECH.', 'M.E.P.', 'MFG.', 'MIN.', 'MISC.', 'M.R.', 'N.', '(N)', 'N.I.C.', 'NOM.', 'N.T.S.', 'O.C.', 'O.D.', 'OPP.', 'O.S.B.', '(P)', 'PL or t', 'PLAM.', 'PLYWD.', 'PNL.', 'P.O.T.', 'PT.', 'P.T.D.', 'PVC', 'P.U.E.', 'R.', 'R.B.', 'R.D.', 'REF.', 'REINF.', 'REQ.', 'RES.', 'RM.', 'R.O.', 'R.R.', 'S.A.S.M.', 'S.', 'S.C.', 'S.C.D.', 'SCHED.', 'SECT.', 'S.E.D.', 'S.F.', 'SHT.', 'SIM', 'S.M.D.', 'SPEC.', 'SQ.FT.', 'STL.', 'STOR.', 'STRUCT.', 'SUSP.', 'SYM.', 'T&B', 'T.B.D.', 'TEMP.', 'T&G', 'THK.', 'TMP.', 'T.O.', 'TYP.', 'U.C.', 'UNF.', 'U.O.N.', 'VERT.', 'VEST.', 'V.I.F.', 'W.', 'W.C.', 'WD.', 'WIND.', 'W.R.', 'WSC.T.', 'WT.', 'w', 'w/o'.

GENERAL NOTES

- 1. DO NOT SCALE THE DRAWINGS. EVERY ATTEMPT HAS BEEN MADE TO SHOW ITEMS TO SCALE, BUT NO GUARANTEE IS IMPLIED. ALWAYS INFORM THE ARCHITECT OF MISSING, INCOMPLETE, OR IMPROPER DIMENSIONS ON THE PLANS, OR WHEN EXISTING CONDITIONS DO NOT MATCH WHAT IS SHOWN ON THE PLANS. VERIFY CRITICAL DIMENSIONS.
2. DIMENSIONS TO EXISTING CONSTRUCTION ARE GIVEN TO FACE OF FINISH, UNLESS INDICATED OTHERWISE.
3. SPECIFICATIONS ARE NOTED THROUGHOUT THE PLANS. CONTACT ARCHITECT FOR CLARIFICATIONS.
4. IF PROVIDED, SEE ELECTRICAL, CIVIL AND PLUMBING DRAWINGS FOR RELATED WORK AND EQUIPMENT. WHERE ELECTRICAL ITEMS ARE SHOWN, AND NO DIMENSIONS OR OTHER FORMS OF LOCATION INFORMATION ARE PROVIDED, THE ARCHITECTURAL DRAWINGS SHALL GOVERN WITH RESPECT TO LOCATION.
5. IF INDICATED, PROVIDE ALTERNATE BIDS AS DESCRIBED IN THE PLANS AND IN BID INSTRUCTIONS.
6. SINCE THE WORK INCLUDES ALTERATIONS OF EXISTING FACILITIES, EXAMINATION OF THE EXISTING CONSTRUCTION SHALL BE MADE BY THE GENERAL CONTRACTOR AS IT RELATES TO THE WORK. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AS REQUIRED. NO ALLOWANCE SHALL BE ALLOWED FOR ANY EXPENSE INCURRED DUE TO FAILURE OR NEGLECT TO EXAMINE AND VERIFY EXISTING CONDITIONS. ANY CONFLICTS, OMISSIONS, ETC. SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BID SUBMISSION.
7. THE PURPOSE OF THESE DOCUMENTS IS TO SHOW THE GENERAL ARRANGEMENT AND EXTENT OF NEW WORK, INCLUDING ADDITIONS, ALTERATIONS AND INTERFACING. ASSUMPTIONS HAVE BEEN MADE REGARDING ARCHITECTURAL, STRUCTURAL AND SYSTEM FEATURES OF EXPOSED AND CONCEALED EXISTING CONSTRUCTION. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETE AND OPERABLE FINISHED PRODUCT WITHIN THE SCOPE OF THIS CONTRACT, BUT WHICH IS NOT SPECIFICALLY INCLUDED IN THESE DOCUMENTS, SHALL BE PERFORMED BY THE GENERAL CONTRACTOR. ALL ITEMS ARE EXISTING UNLESS IDENTIFIED AS NEW (N).
8. THERE WILL BE NO SUBSTITUTION FOR SPECIFIED ITEMS WITHOUT PRIOR WRITTEN APPROVAL, UNLESS OTHERWISE NOTED IN THESE PLANS. REQUESTS FOR SUBSTITUTIONS SHALL BE MADE IN WRITING TO THE ARCHITECT AND APPROVED BY THE ARCHITECT BEFORE ORDERING OR INSTALLING THE SUBSTITUTED ITEM(S).
9. REMOVE PORTIONS OF EXISTING CONSTRUCTION AS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION AND REPLACE, PATCH OR REPAIR AS NEEDED. PROTECT AREA FROM DAMAGE WHICH MAY OCCUR FROM DEMOLITION, DUST, WATER, ETC. PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC. AS REQUIRED DURING THE PERIOD OF CONSTRUCTION.
10. DAMAGE TO EXISTING STRUCTURES, FINISH, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT, AS APPROVED BY DSA AND AT THE EXPENSE OF THE GENERAL CONTRACTOR.
11. THE FINAL LOCATION OF ALL ELECTRICAL AND SIGNAL EQUIPMENT, PANEL BOARDS, FIXTURES, OUTLETS, ETC. SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
12. DIMENSIONS NOTED "CLEAR" OR "CLR." MUST BE PRECISELY MAINTAINED. DO NOT SCALE DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO DEMOLITION, FABRICATION OR CONSTRUCTION. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT, OR UNLESS NOTED OTHERWISE (I.E. "+/-" ON PLANS).
13. DIMENSIONS NOTED "V.I.F." OR "VERIFY" SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF FABRICATION OR CONSTRUCTION. VERIFY ALL ROUGH OPENING DIMENSIONS, FOR FABRICATED ITEMS, WITH THE MANUFACTURER PRIOR TO CONSTRUCTION.
14. EACH FLOOR LEVEL IS ESTABLISHED AT +0.00' AND SHALL BE USED AS A REFERENCE FOR THAT LEVEL'S ELEVATIONS.
15. PROVIDE REQUIRED BLOCKING AND BRACING FOR ALL WALL MOUNTED FIXTURES, ACCESSORIES AND EQUIPMENT. PATCH & REPAIR (E) WALL TO PREVIOUS CONDITION WHERE HOLES ARE CUT FOR NEW BLOCKING OR BRACING.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS AND EQUIPMENT INVOLVED IN HIS OPERATIONS AT THE CONCLUSION OF THE WORK. LEAVE ALL AREAS CLEAN AND IN PERFECT CONDITION.
17. CONTRACTOR SHALL REPAIR OR REPLACE ANY FENCE, SIDEWALK, PAVING, LANDSCAPING, ELEVATOR, FLOORING OR ANY OTHER BUILDING MATERIAL OR SYSTEM DAMAGED AS A RESULT OF LABOR, MATERIAL AND EQUIPMENT DELIVERY AND HANDLING.
18. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO ASBESTOS, HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM AT THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS OR PROCESSES CONTAINING ASBESTOS, HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THIS CONTRACT.
19. THE INTENT OF THESE DRAWINGS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION SHALL BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS, SUCH AS DETERIORATION OR NONCOMPLIANT CONSTRUCTION, BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS, WHEREIN THE FINISHED WORK SHALL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND WAIT FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
20. CONTRACTOR TO PROVIDE TEMPORARY BARRIERS AROUND CONSTRUCTION AREAS TO PROTECT PEDESTRIANS ON SITE. ALL EXITS AND EXIT PATHS, FIRE LANES AND ACCESSIBLE PARKING STALLS SHALL REMAIN CLEAR AND UNOBSTRUCTED, FREE OF DEBRIS AND CONSTRUCTION MATERIAL.

NEVADA JOINT UNION HIGH SCHOOL DISTRICT

NEVADA UNION HIGH SCHOOL 'J' WING STAIR REPLACEMENT

11761 RIDGE ROAD GRASS VALLEY, CA 95945

PROJECT TEAM

OWNER CONTACT: JORDAN KOHLER DIRECTOR OF FACILITIES AND CONSTRUCTION NEVADA JOINT UNION HIGH SCHOOL DISTRICT 11645 RIDGE RD. GRASS VALLEY, CA 95945 PHONE: 530.273.3351 ext 221 E-MAIL: jkohlert@njuhsd.com
ARCHITECT CONTACT: CRAIG SCOTT DERIVI CASTELLANOS ARCHITECTS, INC. 3031 WEST MARCH LANE, SUITE 334 STOCKTON, CA 95219 PHONE: 209.761.1265 E-MAIL: cscott@dcaaiia.com
STRUCTURAL CONTACT: SCOTT HAGGBLADE S.E. DONALD C. URFER & ASSOCIATES 2715 PORTER STREET SOQUEL, CA 95073 PHONE: 831.476.3681 E-MAIL: scott@dcurfer.com

PROJECT REQUIREMENTS

2019 CALIFORNIA GREEN CODE - TITLE 24, Part 11
2019 CALIFORNIA ADMINISTRATIVE CODE - TITLE 24, Part 1
2019 CALIFORNIA BUILDING CODE - TITLE 24, Part 2
2019 CALIFORNIA ELECTRICAL CODE - TITLE 24, Part 3
2019 CALIFORNIA MECHANICAL CODE - TITLE 24, Part 4
2019 CALIFORNIA PLUMBING CODE - TITLE 24, Part 5
2019 CALIFORNIA ENERGY CODE - Part 6
2019 CALIFORNIA FIRE CODE - Part 9
2019 CALIFORNIA EXISTING BUILDING CODE - TITLE 24, Part 10
2019 CALIFORNIA REFERENCED STANDARDS CODE, TITLE 24, Part 12
TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
2019 NFPA 72 NATIONAL FIRE ALARM AND SIGNALING CODE (CA AMENDED)
RULES AND REGULATIONS OF THE LOCAL UTILITY COMPANY
A COPY OF PARTS I & II OF TITLE 24 SHALL BE KEPT AND AVAILABLE IN THE FIELD DURING CONSTRUCTION
LOCAL FIRE JURISDICTION: NEVADA COUNTY CONSOLIDATED FIRE DISTRICT

SHEET INDEX

ARCHITECTURE
A0.1 COVER SHEET, SHEET INDEX, PROJECT DATA, NOTES, ABBREVIATIONS
A1.1 SITE PLAN
A1.2 FLOOR PLAN, SECTIONS AND DETAILS
STRUCTURAL
S2.1 STAIR FDN PLAN, 2ND FLR FRMG PLAN & GENERAL NOTS
S3.1 DETAILS

PROJECT DESCRIPTION

REPLACEMENT IN-KIND OF AN EXISTING EXTERIOR STAIRWAY AT "J" BUILDING, DUE TO EXCESSIVE CORROSION AND CONSIDERED UNSAFE BY THE DISTRICT. REPLACEMENT STAIRWAY TO MATCH EXISTING ON SITE BUT COMPLY WITH CURRENT ACCESSIBILITY REQUIREMENTS PER CBC 2019.
PER DSA IR A-10 THIS PROJECT IS EXEMPT FROM DSA REVIEW. THE DISTRICT WILL RETAIN AN IOR TO OBSERVE THE REPLACEMENT WORK.

VICINITY MAP



NOT TO SCALE PROJECT SITE

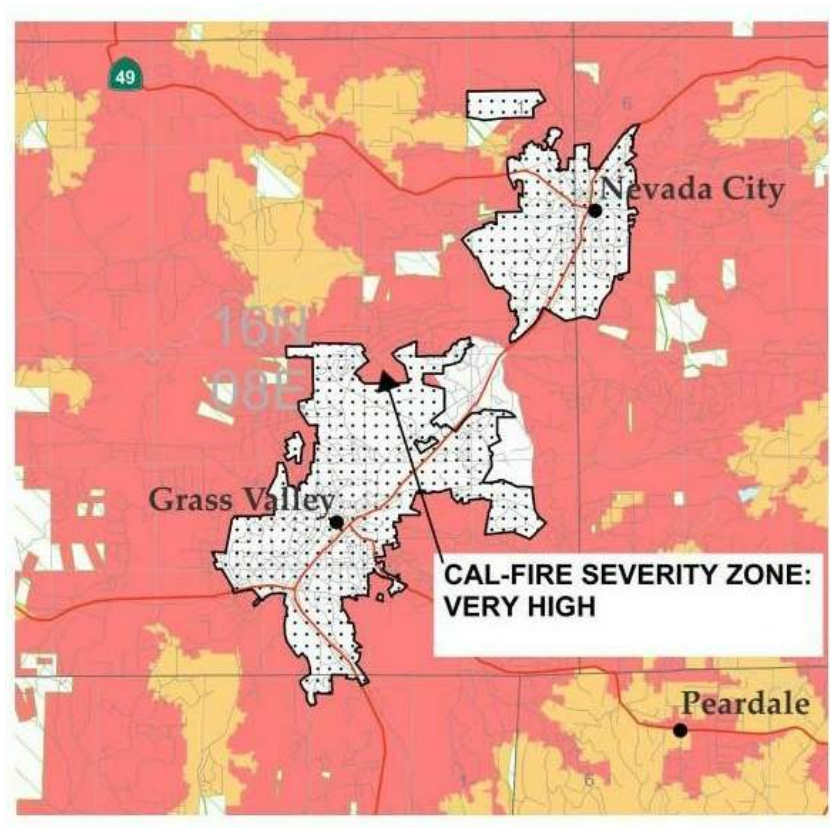
DSA INFORMATION

- 1. AS A FACILITY WHICH COMES UNDER THE APPROVAL OF THE DIVISION OF THE STATE ARCHITECT (DSA), THIS PROJECT IS SUBJECT TO DRAWING AND SITE REVIEW BY A REPRESENTATIVE OF DSA.
2. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY ADDENDA OR CONSTRUCTION CHANGE DOCUMENT, APPROVED BY THE DIVISION OF THE STATE ARCHITECT.
3. THE ARCHITECT SHALL NOTIFY DSA OF THE START-UP OF CONSTRUCTION.
4. A PROJECT INSPECTOR, EMPLOYED BY THE DISTRICT AND APPROVED BY DSA, SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK.
5. ADMINISTRATION OF CONSTRUCTION PER PART 1, TITLE 24 CCR
VERIFIED REPORTS PER SECTION 4-336
DUTIES OF ARCHITECT PER SECTION 4-331 & 4-341
DUTIES OF CONTRACTOR PER SECTION 4-343
6. COMPLIANCE WITH CFC CHAPTER 33 - FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION
7. SHOULD ANY EXISTING CONDITION SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY DSA-APPROVED DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24 CALIFORNIA CODE OF REGULATIONS, A CONSTRUCTION CHANGE DOCUMENT, DETAILING AND SPECIFYING THE REQUIRED REPAIR WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE REPAIR WORK.

A PROJECT MANUAL IS AN INTEGRAL PART OF THE PROJECT DOCUMENTS
THESE DRAWINGS AND SPECIFICATIONS FOR THE ITEMS LISTED IN THE SHEET INDEX HAVE BEEN PREPARED BY OTHER DESIGN PROFESSIONALS WHO ARE LICENSED TO PREPARE SUCH DRAWINGS IN THIS STATE. THESE DOCUMENTS HAVE BEEN EXAMINED BY ME FOR DESIGN INTENT AND APPEAR TO MEET THE APPROPRIATE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS AND THE PROJECT SPECIFICATIONS.
THE ITEMS LISTED ABOVE HAVE BEEN COORDINATED WITH MY PLANS AND SPECIFICATIONS AND ARE ACCEPTABLE FOR INCORPORATION INTO THE CONSTRUCTION OF THIS PROJECT FOR WHICH I AM THE INDIVIDUAL DESIGNATED TO BE IN GENERAL RESPONSIBLE CHARGE.
STRUCTURAL DRAWINGS BY: ..... D.C URFER & ASSOC., INC.

CRAIG A. SCOTT, ARCHITECT LICENSE #: C14508 DATE RENEWAL DATE: 02/28/2021

FIRE SEVERITY ZONE MAP



NOT TO SCALE

FLOOD HAZARD MAP



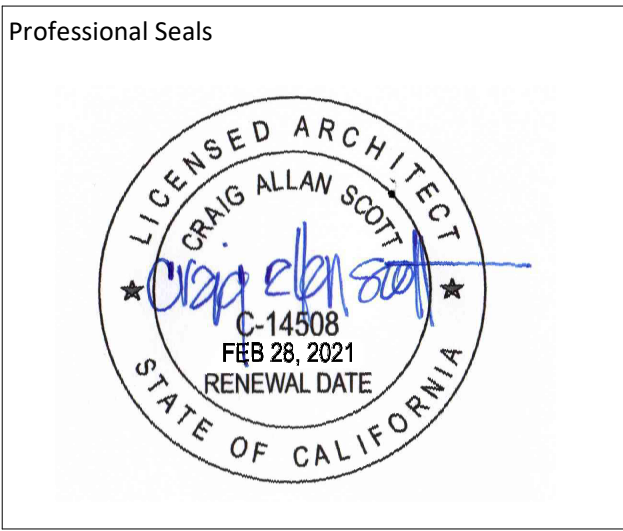
NOT TO SCALE PROJECT SITE
NOTE: BASED ON LOCATION AS SHOWN ON FEMA MAP, THE PROJECT IS LOCATED IN ZONE X.

DSA STAMP

Derivi Castellanos Architects



Central Valley 3031 W March Ln, Suite 334 Stockton, CA 95219 (209) 462-2873 www.dcaaiia.com
Silicon Valley 95 S Market St, Suite 480 San Jose, CA 95113 (408) 320-4871



NEVADA JOINT UNION HIGH SCHOOL DISTRICT
NEVADA UNION HIGH SCHOOL 'J' WING STAIR REPLACEMENT
11761 RIDGE ROAD GRASS VALLEY, CA 95945

SHEET TITLE: COVER SHEET, SHEET INDEX, PROJECT DATA, NOTES, ABBREVIATIONS
SCALE: As indicated

Revision Schedule table with columns: NO., Description, Date.

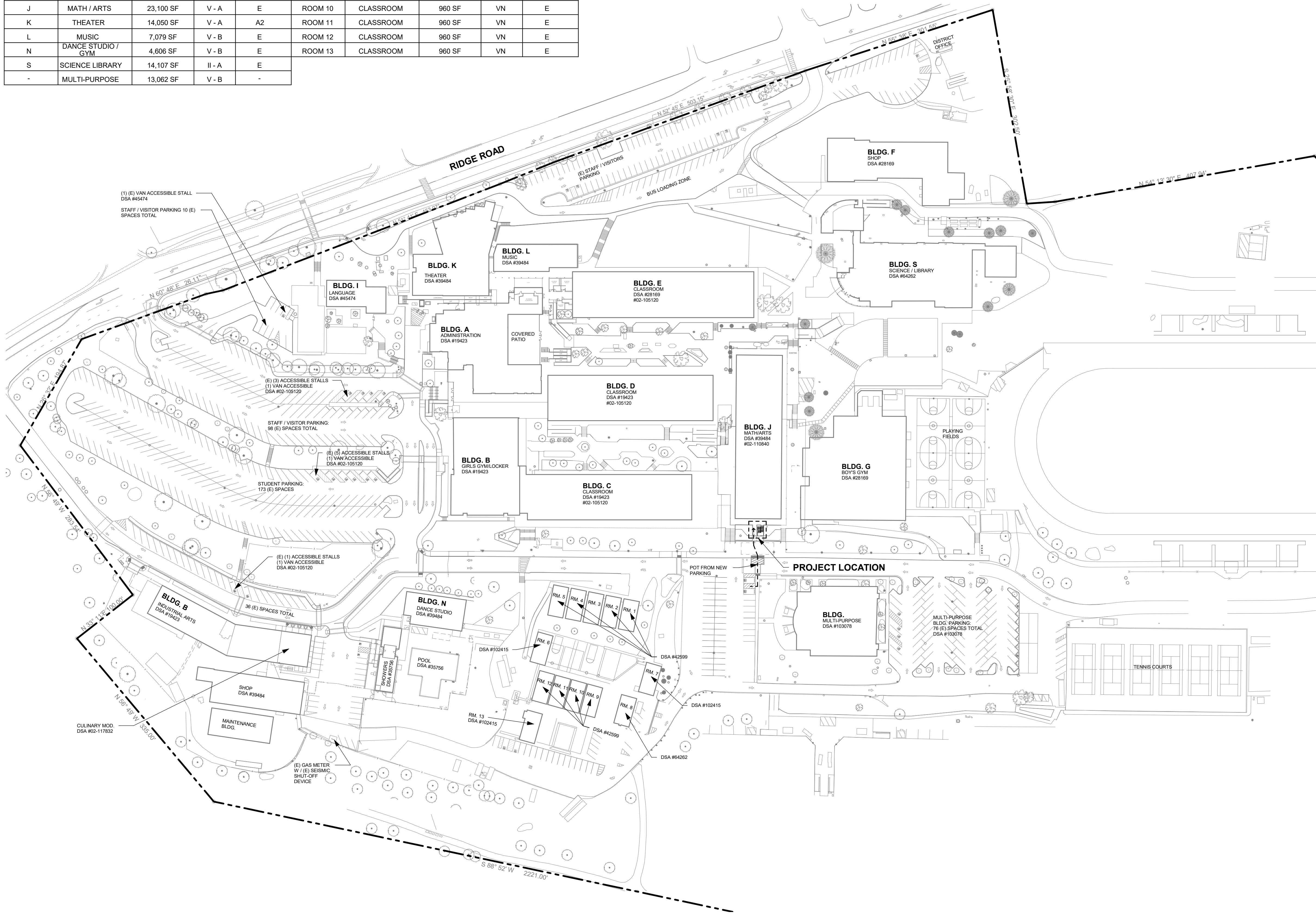
Drawn By: IAV
Checked By: CAS

PROJECT # 20.017 SHEET # A0.1
ISSUE DATE: 2020/10/26

GENERAL LEGEND

- 1 101 ELEVATION REFERENCE (TOP CHARACTER REFERS TO ITEM ON SHEET; BOTTOM CHARACTER REFERS TO SHEET NUMBER)
B A3.12 DETAIL REFERENCE (TOP CHARACTER REFERS TO ITEM ON SHEET; BOTTOM CHARACTER REFERS TO SHEET NUMBER)
B A3.12 SECTION REFERENCE (TOP CHARACTER REFERS TO ITEM ON SHEET; BOTTOM CHARACTER REFERS TO SHEET NUMBER)
+8'-0" SOFFIT ELEVATION CALLOUT
E1 KEYNOTE CALLOUT
BREAK LINE
ROOM # ROOM NAME AND/OR NUMBER
C A2.5 ENLARGED PLAN, SECTION OR ELEVATION REFERENCE BUBBLE (TOP CHARACTER REFERS TO ITEM ON SHEET; BOTTOM CHARACTER REFERS TO SHEET NUMBER)
12 STRUCTURAL GRID IDENTIFIER
GRAPHIC SCALE

BUILDING SUMMARY					RELOCATABLE BUILDINGS				
BUILDING ID	BLDG. DESCRIPTION	SQ. FT.	CONST. TYP	OCCUPANCY	BUILDING ID	BLDG. DESCRIPTION	SQ. FT.	CONST. TYPE	OCCUPANCY
A	ADMIN.	32,189 SF	V - B	F1, A2, S1	ROOM 1	CLASSROOM	960 SF	VN	E
B	GIRL'S GYM / LOCKER ROOM	16,346 SF	V - A	A3, E	ROOM 2	CLASSROOM	960 SF	VN	E
C	CLASSROOM	16,626 SF	V - B	E	ROOM 3	CLASSROOM	960 SF	VN	E
D	CLASSROOM	17,624 SF	V - B	E	ROOM 4	CLASSROOM	960 SF	VN	E
E	CLASSROOM	20,406 SF	V - B	E	ROOM 5	CLASSROOM	960 SF	VN	E
F	SHOP BLDG.	10,028 SF	V - B	E	ROOM 6	CLASSROOM	960 SF	VN	E
G	SHOWERS / LOCKERS	22,600 SF	V - A	A3, E	ROOM 7	CLASSROOM	960 SF	VN	E
H	INDUSTRIAL ARTS	14,576 SF	II - B	E	ROOM 8	CLASSROOM	960 SF	VN	E
I	LANGUAGE	10,500 SF	V - B	E	ROOM 9	CLASSROOM	960 SF	VN	E
J	MATH / ARTS	23,100 SF	V - A	E	ROOM 10	CLASSROOM	960 SF	VN	E
K	THEATER	14,050 SF	V - A	A2	ROOM 11	CLASSROOM	960 SF	VN	E
L	MUSIC	7,079 SF	V - B	E	ROOM 12	CLASSROOM	960 SF	VN	E
N	DANCE STUDIO / GYM	4,606 SF	V - B	E	ROOM 13	CLASSROOM	960 SF	VN	E
S	SCIENCE LIBRARY	14,107 SF	II - A	E					
-	MULTI-PURPOSE	13,062 SF	V - B	-					



### CODE ANALYSIS

BUILDING "J" - CLASSROOM-MATHS / ARTS  
 EXISTING BUILDING DATA:  
 ORIGINAL CONSTRUCTION: DSA #39484, 1976, 33, 350 SF  
 CONSTRUCTION TYPE: EXISTING TYPE V-A (1-HR)  
 OCCUPANCY: E  
 RESTROOM MODERNIZATION: #02-110840, 2010

DSA STAMP

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Professional Seals

### LEGEND

- (E) BUILDING
- PROPERTY LINE
- P.O.T. FROM PUBLIC WALKWAY & ACCESSIBLE STAFF / STUDENT PARKING TO PROJECT LOCATION.
- (E) CHAIN LINK FENCE
- (E) FIRE HYDRANT

NEVADA JOINT UNION HIGH SCHOOL DISTRICT  
**NEVADA UNION HIGH SCHOOL 'J' WING STAIR REPLACEMENT**  
 11761 RIDGE ROAD GRASS VALLEY, CA 95945

SHEET TITLE:  
**SITE PLAN**

SCALE: As indicated

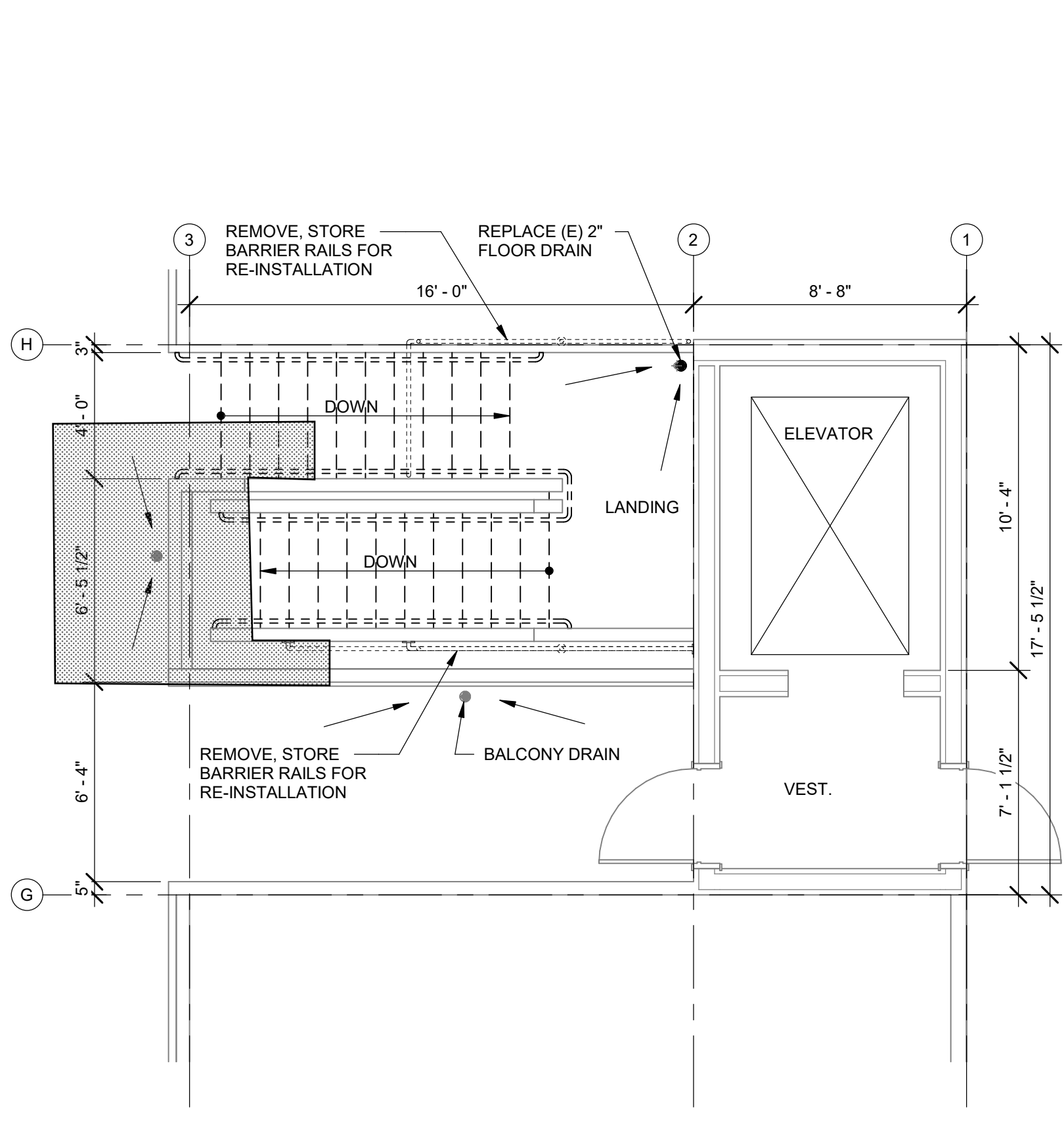
Revision Schedule		
NO.	Description	Date

Drawn By: IAV  
 Checked By: CAS

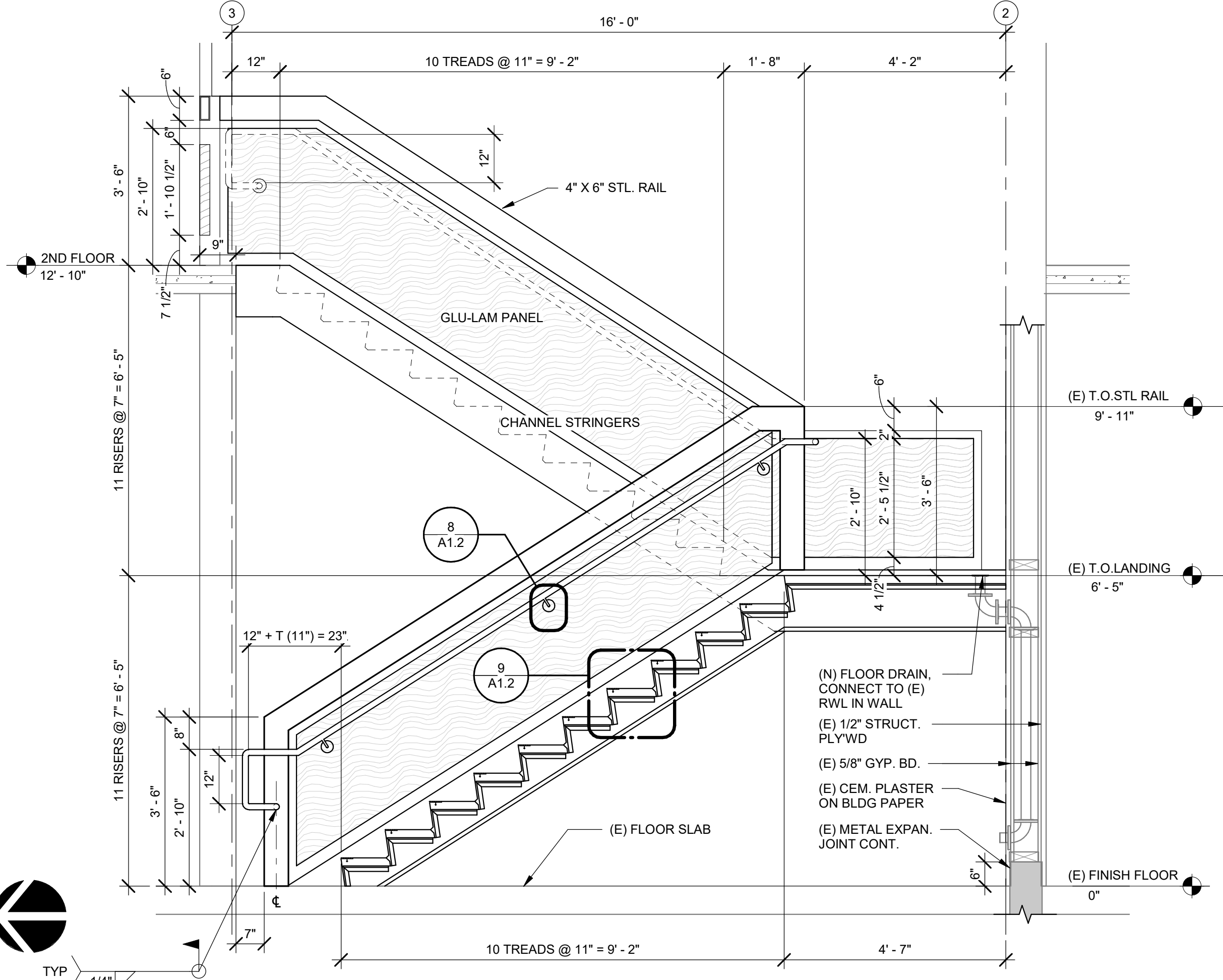
PROJECT # 20.017 SHEET # A1.1  
 ISSUE DATE:

**1 SITE PLAN**  
 SCALE: 1" = 80'-0"

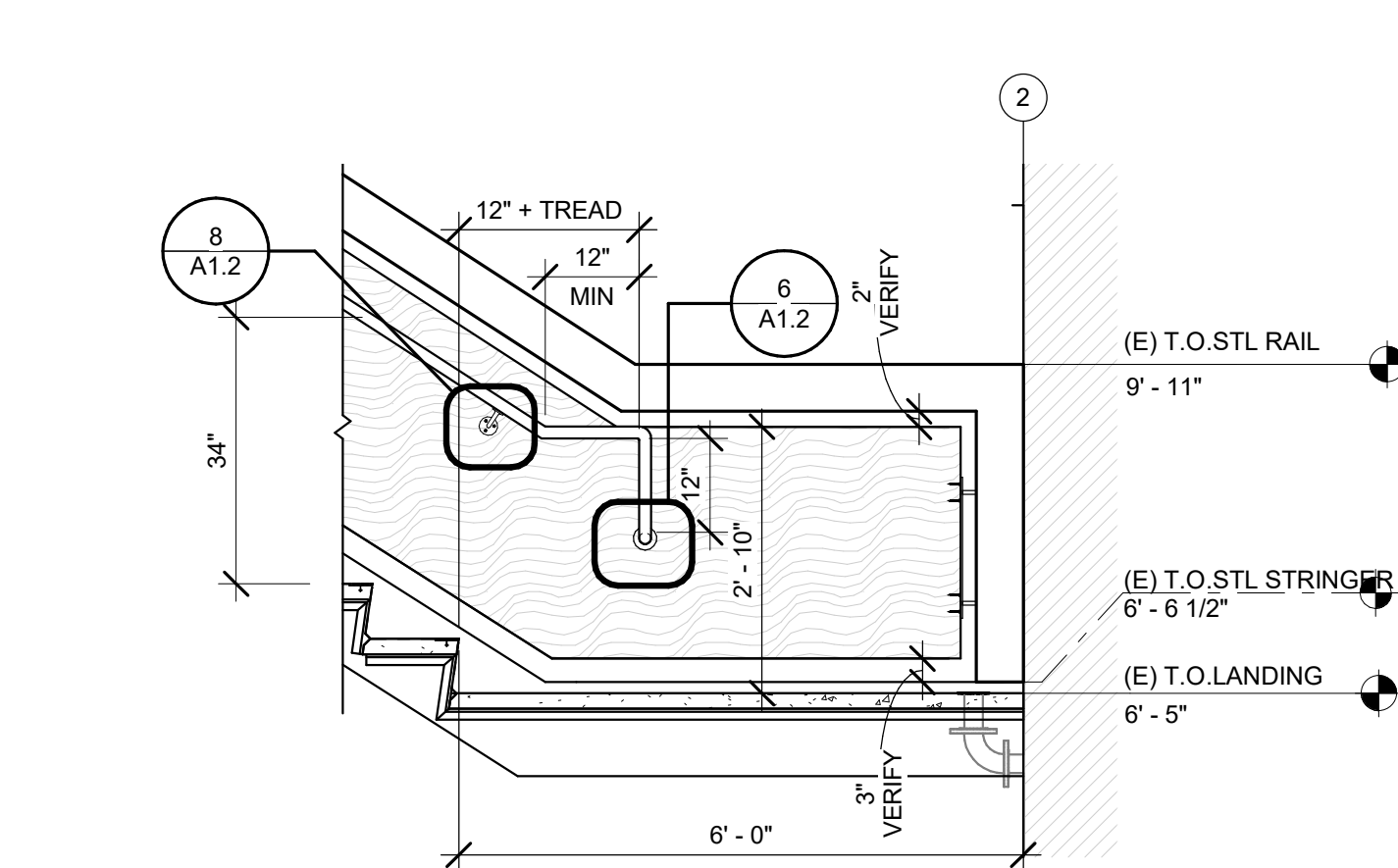




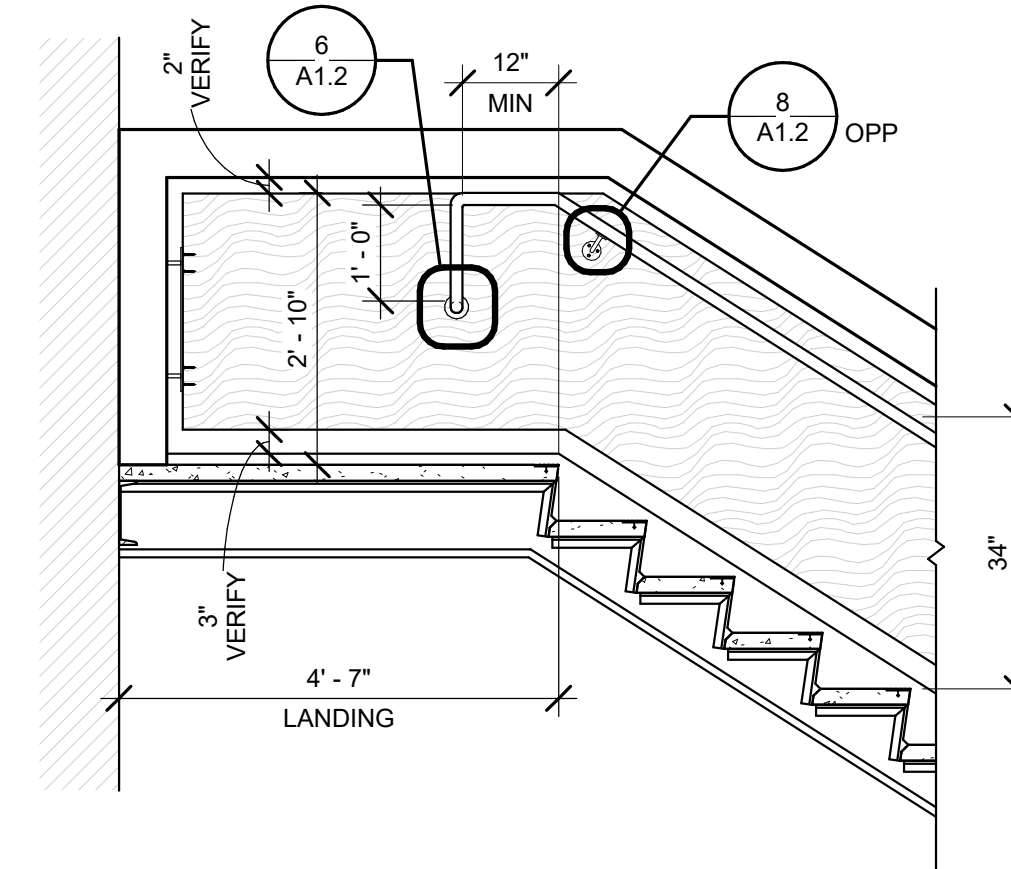
**1 STAIRS PLAN - EXISTING / DEMOLITION**  
SCALE: 1/4" = 1'-0"



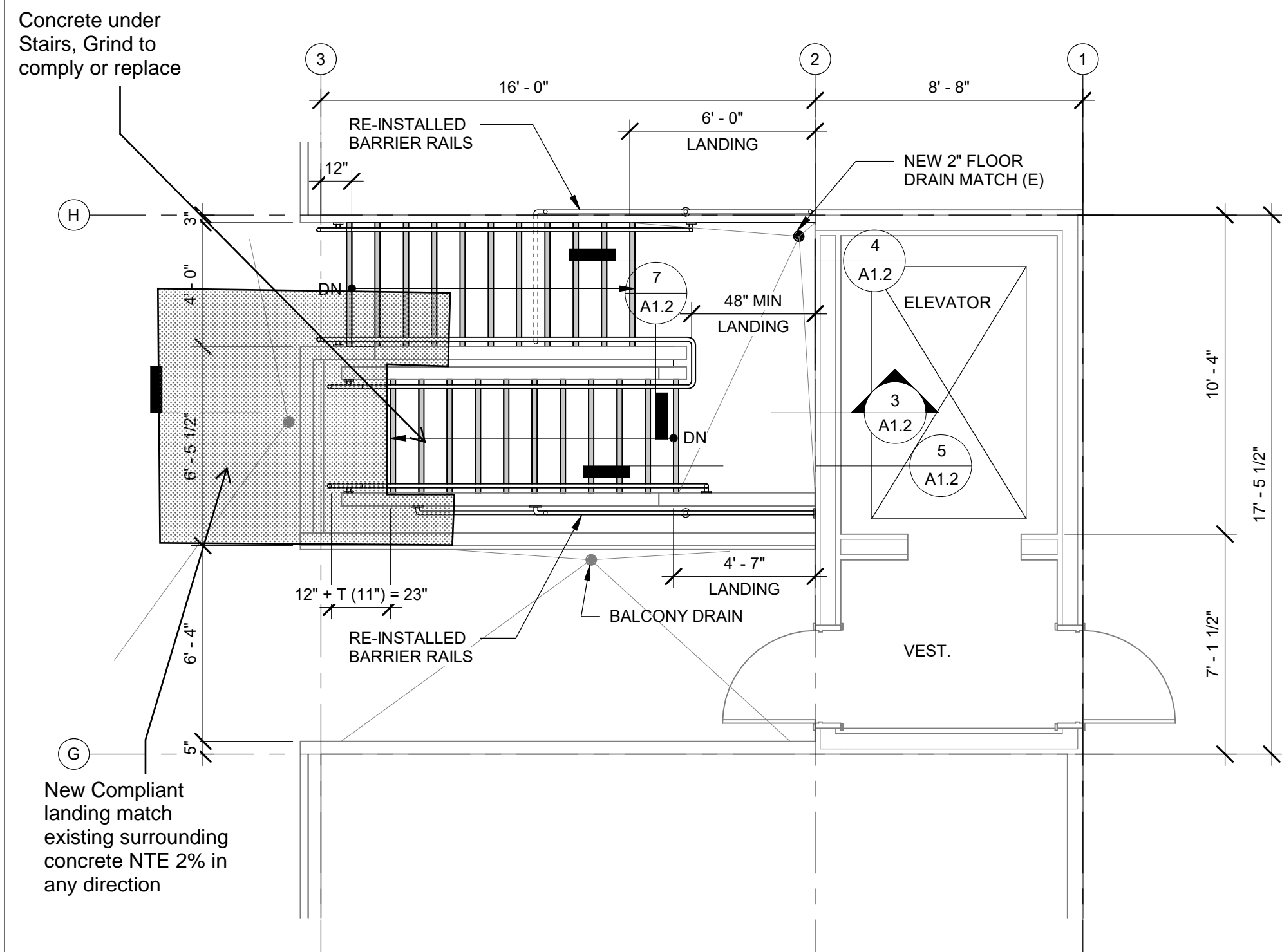
**3 SECTION - STAIR AT ELEVATOR**  
SCALE: 1/2" = 1'-0"



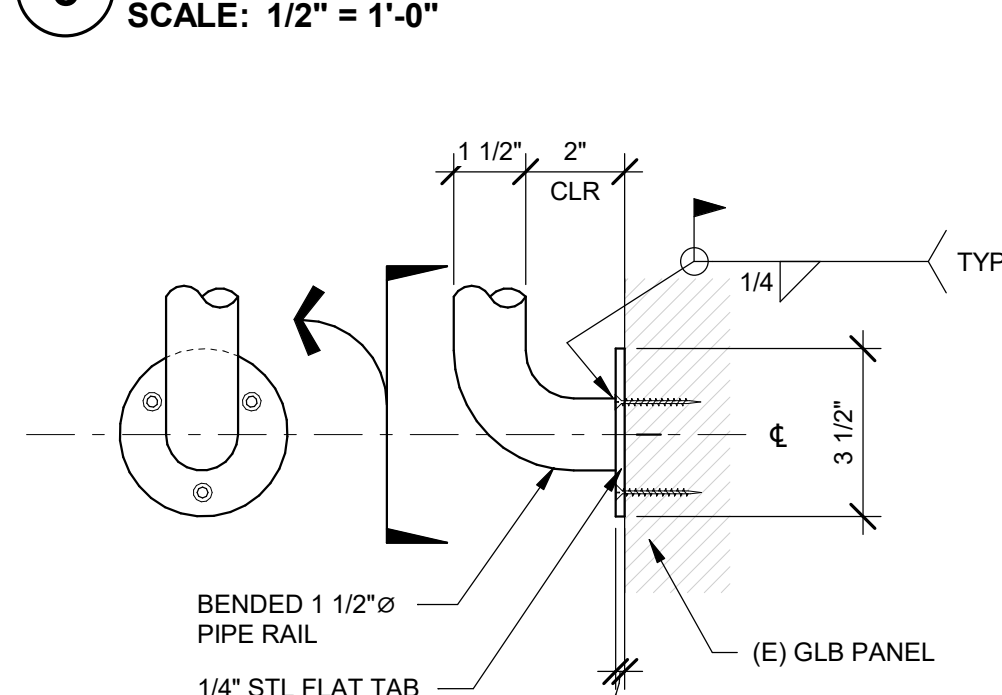
**4 HANDRAIL EXTENSION AT LANDING - UP**  
SCALE: 1/2" = 1'-0"



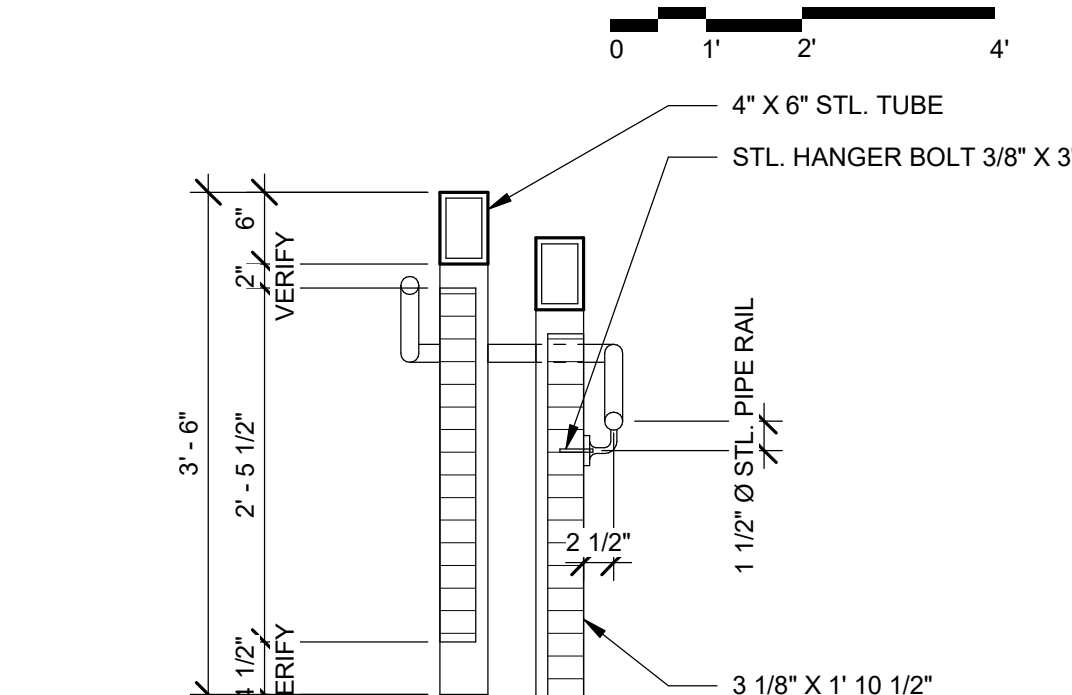
**5 HANDRAIL EXTENSION AT LANDING - DOWN**  
SCALE: 1/2" = 1'-0"



**2 STAIRS PLAN - REPAIRED**  
SCALE: 1/4" = 1'-0"

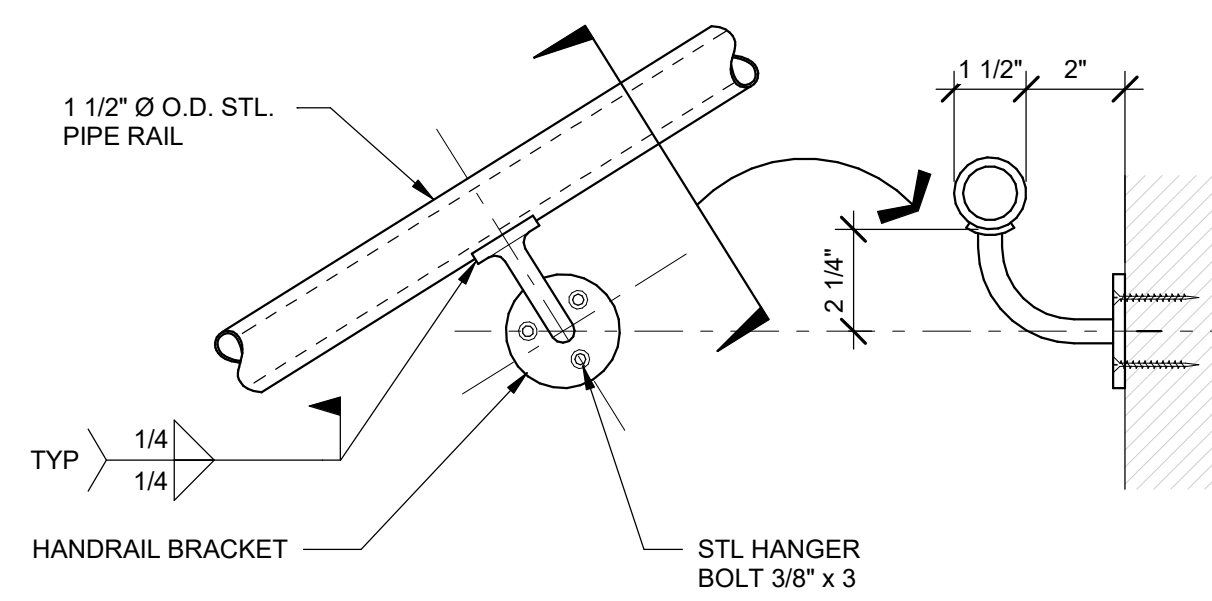


**6 STL. PIPE HANDRAIL RETURN**  
SCALE: 3" = 1'-0"

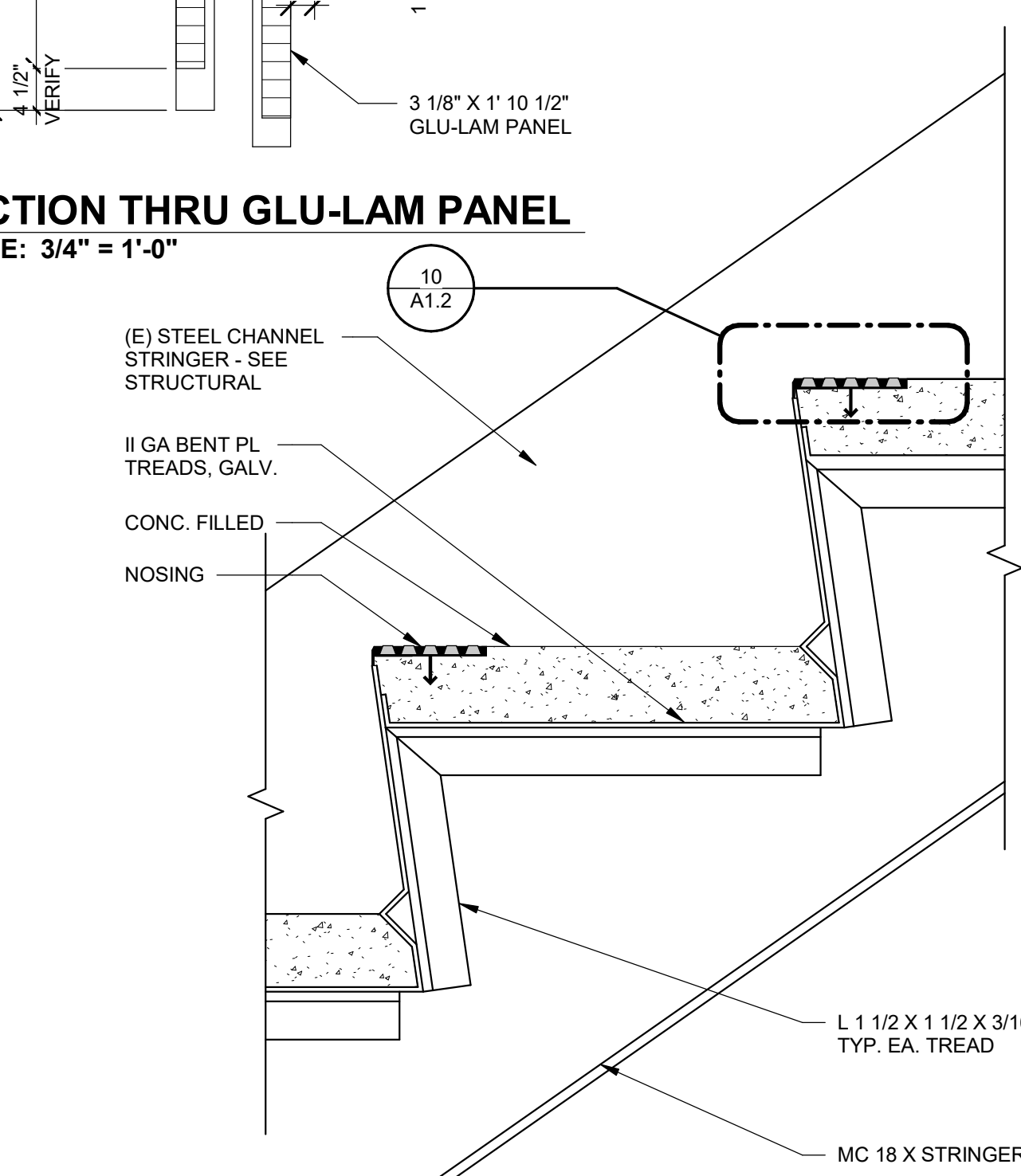


**7 SECTION THRU GLU-LAM PANEL**  
SCALE: 3/4" = 1'-0"

A. The contractor may elect to modify the existing handrail. Final product shall be compliant and like new, painted with an epoxy based coating per district standards

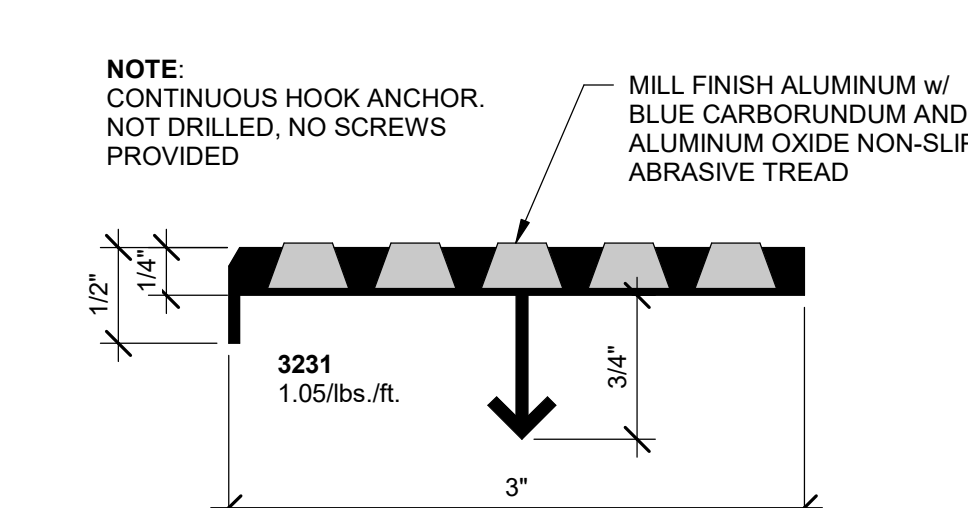


**8 TYPICAL STL. PIPE HANDRAIL**  
SCALE: 3" = 1'-0"



**9 TYP. TREAD & RISER @ ELEVATOR STAIR**  
SCALE: 3" = 1'-0"

**PAINTING**  
SURFACE TREATMENT, PRIMING AND COATS OF PAINT SPECIFIED ARE IN ADDITION TO SHOP PRIMING AND SURFACE PAINT TREATMENT SPECIFIED. NUMBER OF COATS SPECIFIED ARE MINIMUM; UNIFORM COVERAGE IS REQUIRED, FREE FROM DEFECTS OR BLEMISHES. REPAINT ENTIRE EXISTING SURFACE ON WHICH NEW WORK OCCURS WITH ONE FINAL COAT. METAL SURFACES: SAND, (AS NECESSARY, TO PROVIDE FOR COMPLETE BONDING OF COATS. STEEL AND IRONWORK SHALL BE SCRAPPED CLEAN OF SCALE, AND RUST AND ANY GREASE SHALL BE ENTIRELY REMOVED. TOUCH UP SCRATCHED AND DAMAGED PLACES ON METAL PRIMING COATS. GALVANIZED METAL SHALL BE GIVEN AN APPROVED ACID TREATMENT BEFORE PAINT IS APPLIED. FULLY PRIME ANY RUSTING FERROUS METAL OR BARE GALVANIZED STEEL.  
**FERROUS METAL**  
1st COAT - ALKYLID FLAT PRIMER  
2nd and 3rd COATS - 100 PERCENT ACRYLIC SEMI GLOSS  
**GALVANIZED METAL (HANDRAIL AND GUARDRAIL ASSEMBLIES ONLY)**  
1st COAT - ETCH PREP  
2nd COAT - EPOXY SATIN PRIMER  
3rd and 4th COATS - HIGH DISPERSION PURE ACRYLIC POLYMER  
**COLORS TO MATCH DISTRICT-STANDARDS ON SITE.**



**10 SAFETY NOSING**  
SCALE: 12" = 1'-0"

DSA STAMP

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Professional Seals

LICENSED ARCHITECT  
ORANG ALLAN SCOTT  
C-11608  
FEB 28, 2021  
RENEWAL DATE  
STATE OF CALIFORNIA

NEVADA JOINT UNION HIGH SCHOOL DISTRICT

**NEVADA JOINT UNION HIGH SCHOOL 'J' WING STAIR REPLACEMENT**

11761 RIDGE ROAD GRASS VALLEY, CA 95945

SHEET TITLE:  
**FLOOR PLAN, SECTIONS AND DETAILS**

SCALE: As indicated

Revision Schedule		
NO.	Description	Date

Drawn By: IAV/DD  
Checked By: CAS

PROJECT # 20.017  
ISSUE DATE: 2020/10/26  
SHEET # **A1.2**

**GENERAL NOTES**

**Site Condition:** The Contractor shall examine and check all existing conditions, dimensions, levels and material and notify the Architect of discrepancies.

**Scope of Work:** The Scope of work includes the replacement of the existing exterior concrete/metal pan steps and landing. The existing support framing will be cleaned, painted and re-used where practical.

**Concrete:** Concrete shall be proportioned to give a 28 day compressive strength of at least 4000 psi for stair treads and landing fill. The slump shall be the minimum consistent with the condition of placing but in general shall not exceed 4 inches. The water-cement ratio shall not exceed 0.5. Use Type II cement and 3/8" max pea gravel. All concrete construction shall be in accordance with Chapter 19A of the California Building Code, 2019 Edition (Title 24).

**Reinforcing Bars:** Reinforcing steel shall be welded wire mesh conforming to ASTM Standard Specification A1026, Grade 40, minimum. Lap mesh a minimum of one and one half meshes at splices. Use flat sheets, not rolls. All reinforcing steel shall be in accordance with Chapter 19A of the California Building Code, 2019 Edition (Title 24).

**Bar coverage** (face of bar to face of concrete) shall be as follows unless noted otherwise.

When poured against forms exposed to weather or earth	1 1/2" min.
All others	See details

**Structural and Miscellaneous Steel:** Plates and other structural and miscellaneous steel shall conform to ASTM A-36. Fabrication, erection, welding and painting shall be in accordance with the latest edition of the American Institute of Steel Construction Specifications. All steel exposed to weather shall be galvanized.

**Sheet Metal Pans and Decking:** Cold rolled steel plates for pans and decking shall conform to ASTM A653, Gr. 50, galvanized.

**Special Inspections:** The following special inspections, as required by Section 1705A of the California Building Code, 2019 Edition, shall be provided during construction on the following types of work. The Contractor shall make arrangements for such tests, inspections and approvals with an independent testing laboratory or entity acceptable to the Owner. The Owner shall bear costs of the test and/or inspections.

- A. Structural Welding, per Section 1705A.2, and Table 1705A.2.1;
- B. Concrete, per Section 1705A.3 and Table 1705A.3;
- C. Reinforcing Steel, per Section 1705A.3 and Table 1705A.3.

**General Design Criteria:**

**Seismic:**

Risk Category = III, I = 1.25  
 Seismic Design Category = "D"; Site Class "D"  
 $S_s = 0.563g$ ;  $S_1 = 0.235g$   
 $F_a = 1.0$ ;  $F_v = 1.5$   
 $S_{ms} = F_a S_s = 0.76g$   
 $S_{m1} = F_v S_1 = \text{null}$   
 $S_{d1} = 2/3 S_{m1} = 0.507$   
 $S_{d2} = 2/3 S_{m2} = \text{null}$   
 Longitude & Latitude

Long: -121.054919  
 Lat: 39.24000

**Wind:**

Wind Exposure "C"  
 101 mph wind speed

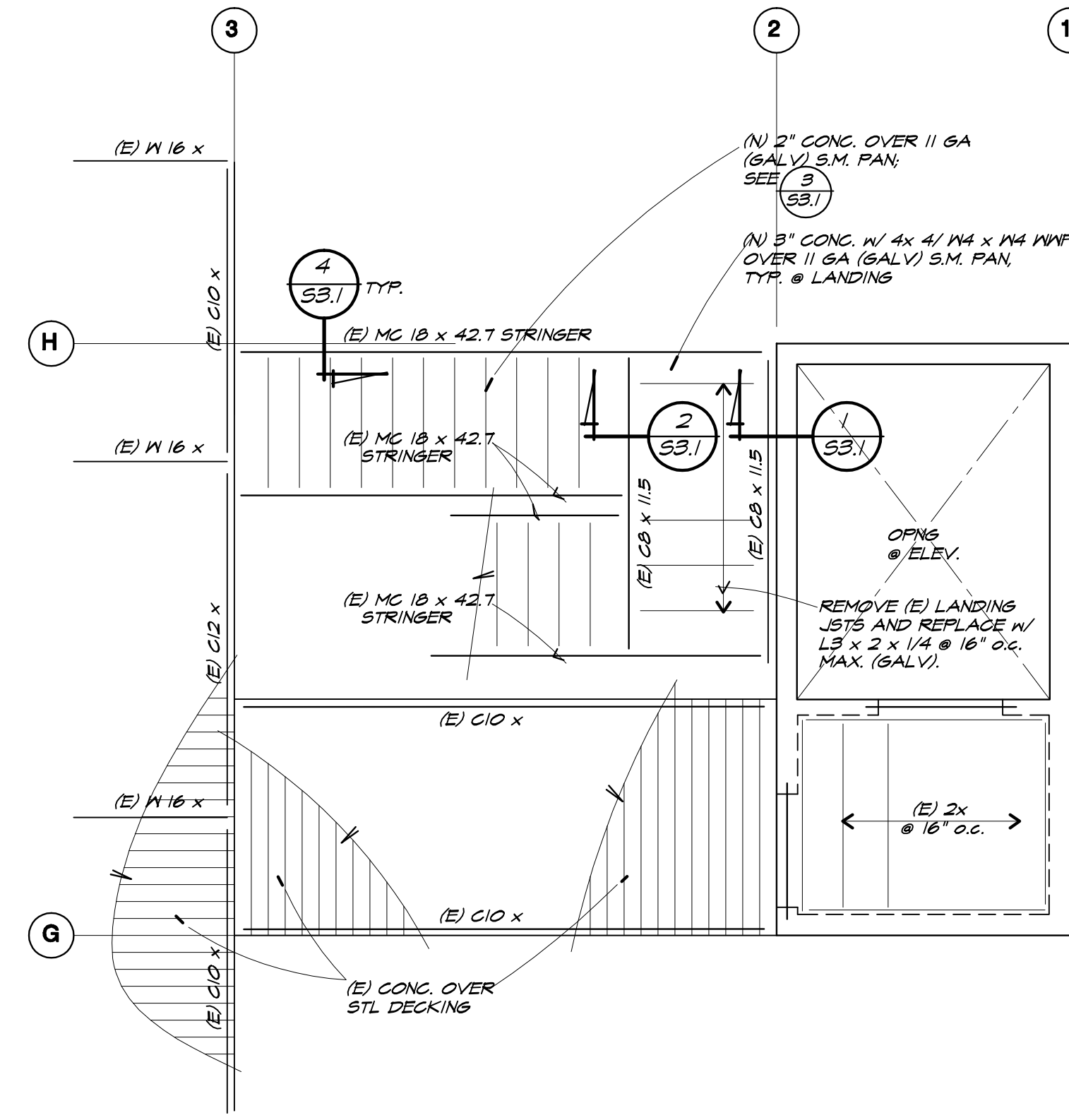
**Live Loads:**

Stair Live Load = 100 psf

**Note:** All construction not specifically detailed shall be built to conform with similar construction shown and the requirements of the California Building Code, 2019 Edition (Title 24).

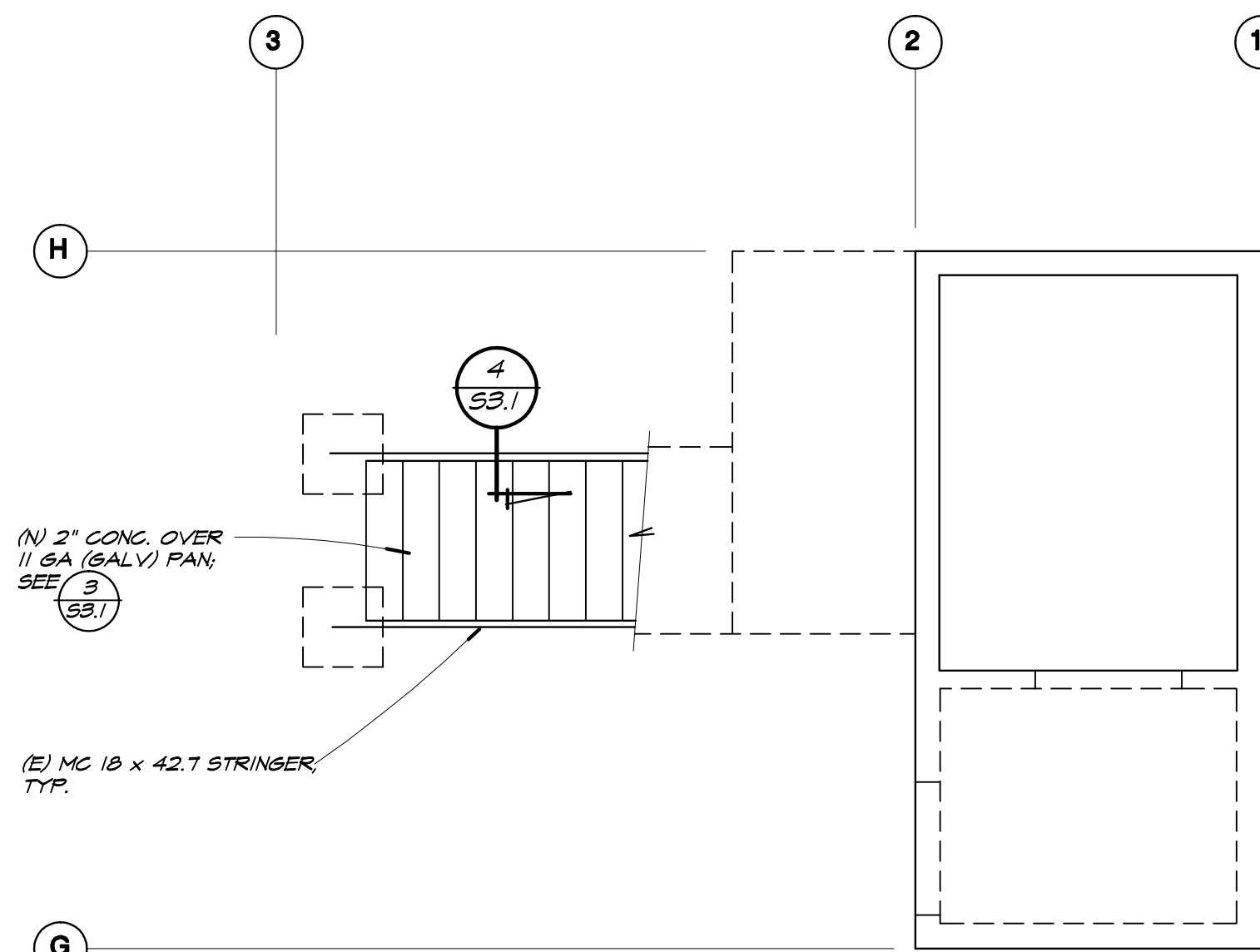
**ABBREVIATIONS**

A.B. = Anchor Bolt	Frng. = Framing	Parf. = Performed
Arch. Dwg. = Architectural Drawings	Fl. = Foot, Feet	Ply. = Plywood
Blk. = Block	Fig. = Footing	Pl. = Plate
Blkg. = Blocking	Ga. = Gauge	Reinf. = Reinforcing
Bm. = Beam	Galv. = Galvanized	Ret. = Retaining
Bott. = Bottom	GL = Glulam beam	Req. = Requirements
Cont. = Cantilever	GSM = Galvanized Sheet Metal	RF. = Roof
C. = Center Line	Hdr. = Header	Rm. = Room
Clr. = Clear	Ht. = Height	Rdw. = Redwood
Col. = Column	Horiz. = Horizontal	S.B. = Solid Blocking
Compl. Pen. = Complete Penetration	Jst. = Joist	Shtg. = Sheathing
Conc. = Concrete	Max. = Maximum	Sim. = Similar
Cont. = Continuous	M.B. = Machine Bolt	Sq. = Square
Dbt. = Double	Mech. = Mechanical	Sq. = Square
D.F. = Douglas Fir	Min. = Minimum	Std. = Standard
Dia. = Diameter	(N) = New	T.E.N. = Typical Edge Nailing
(E) = Existing	N.T.S. = Not to Scale	T&G = Tongue and Groove
Ea. = Each	O.C. = On Center	TS = Structural Steel Tube
Fin. = Floor	O.H. = Opposite Hand	Typ. = Typical
Fnd. = Foundation	P.M.P. = Perforated Metal Pipe	U.N. = Unless Noted
F.O.C. = Face of Concrete	P.T.D.F. = Pressure Treated Douglas Fir	Vert. = Vertical
F.O.S. = Face of Stud		W.W.F. = Welded Wire Fabric
		W. = Steel Beam
		W.A. = Wedge Anchor



**2ND FLOOR FRAMING PLAN**

1/4" = 1'-0"



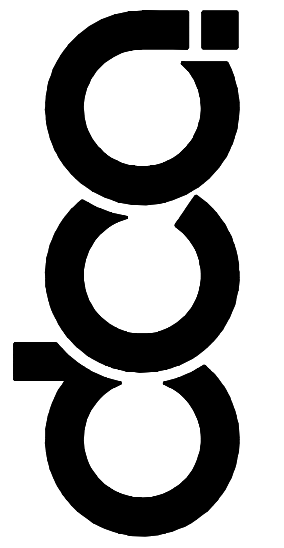
**STAIR FOUNDATION PLAN**

1/4" = 1'-0"

**NOTES**

- 1. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS.

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Owner  
**NEVADA UNION HIGH  
SCHOOL 'J' WING STAIR  
REPLACEMENT**

**SHEET TITLE:**

**STAIR FDN PLAN,  
2ND FLR FRMG PLAN  
& GENERAL NOTES**

SCALE: AS NOTED

**Revision Schedule**

NO.	Description	Date

Drawn By: *BE*

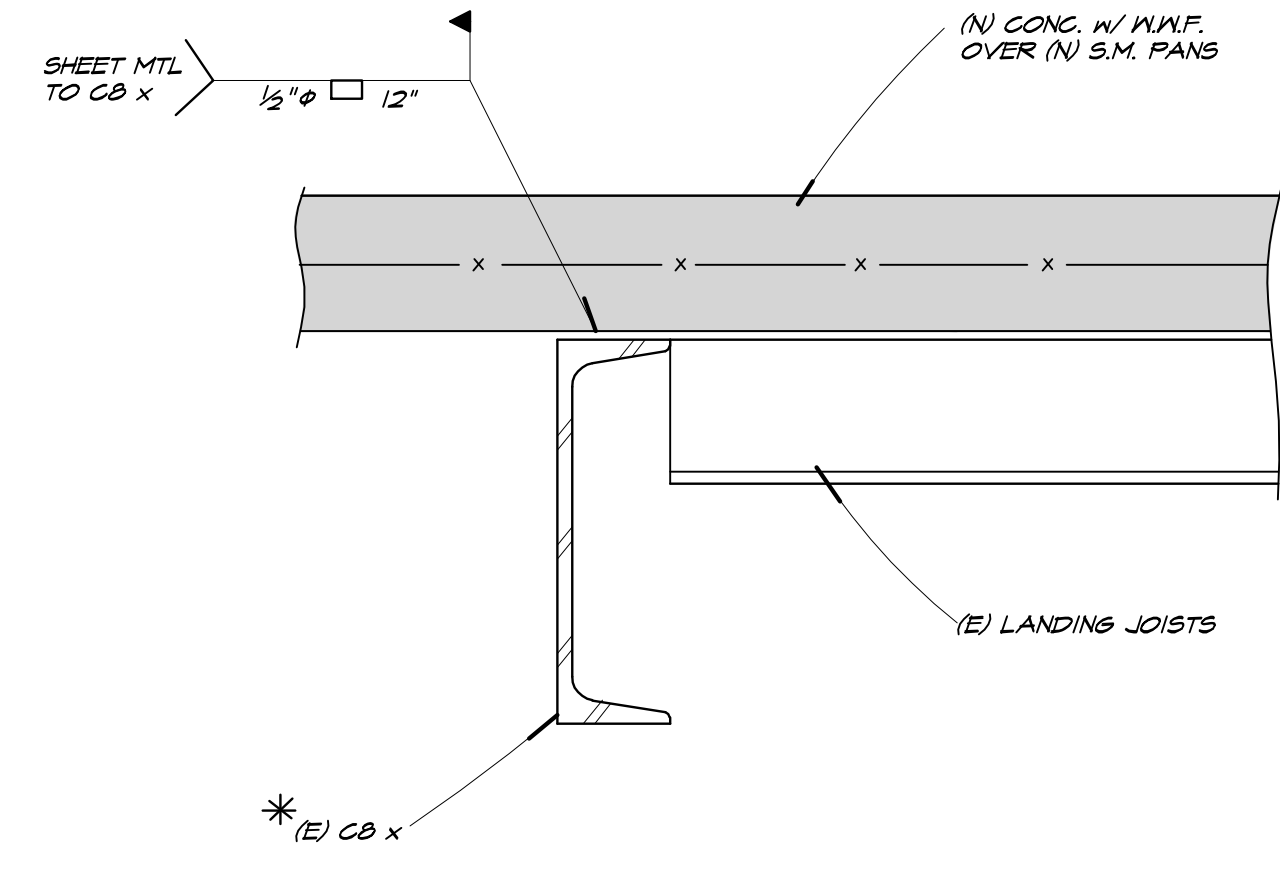
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PROJECT #

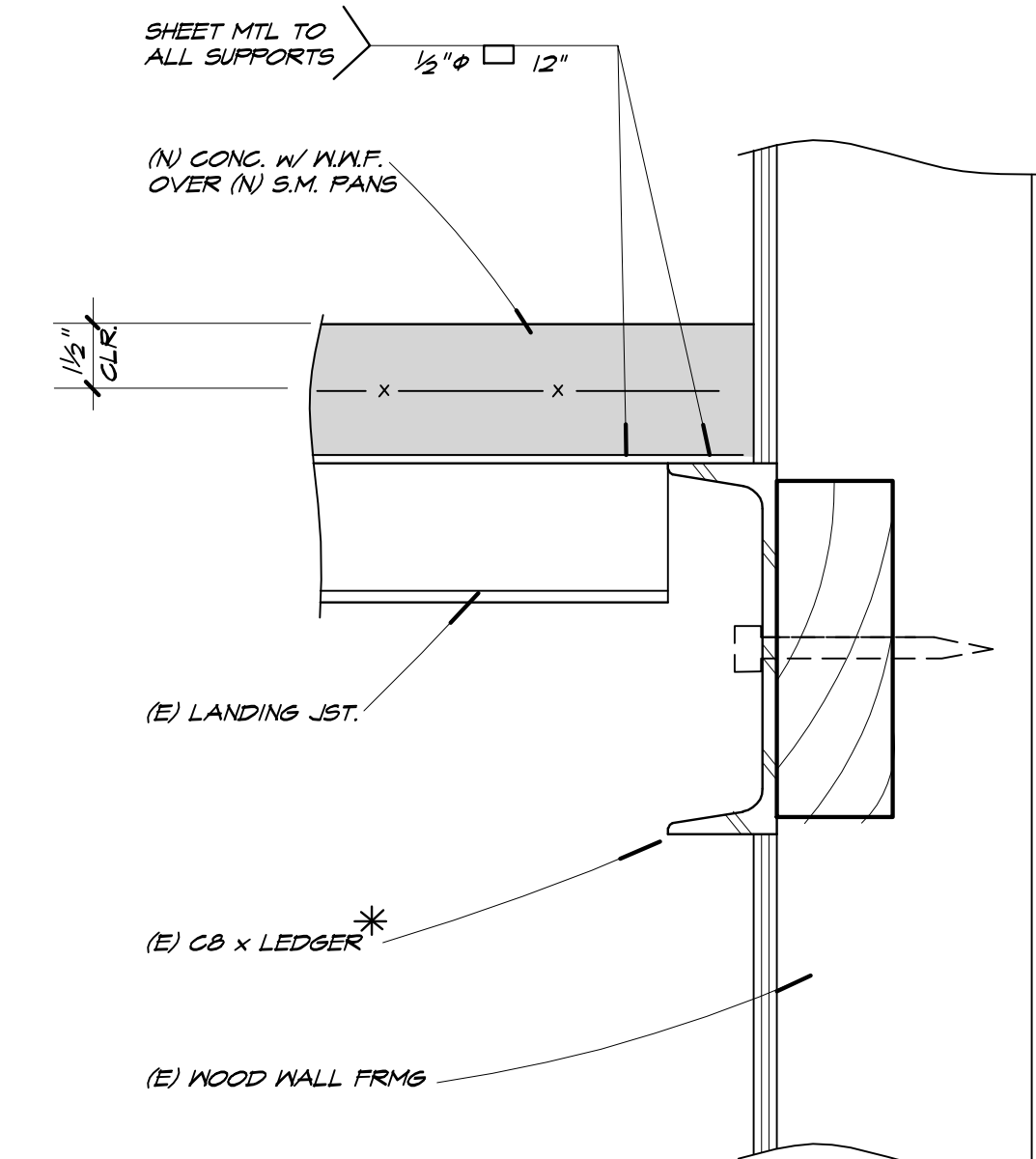
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DATE:  
11/3/20

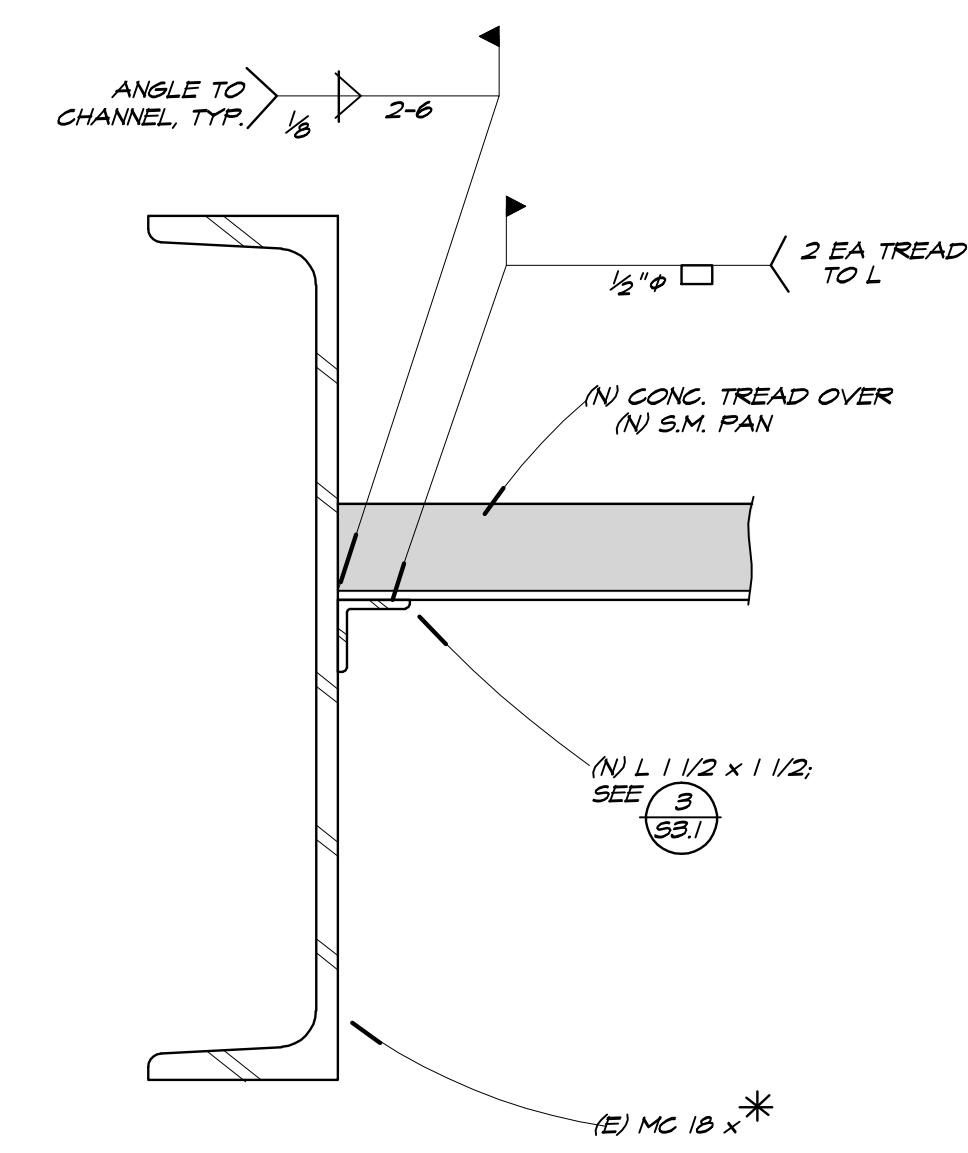
**S2.1**



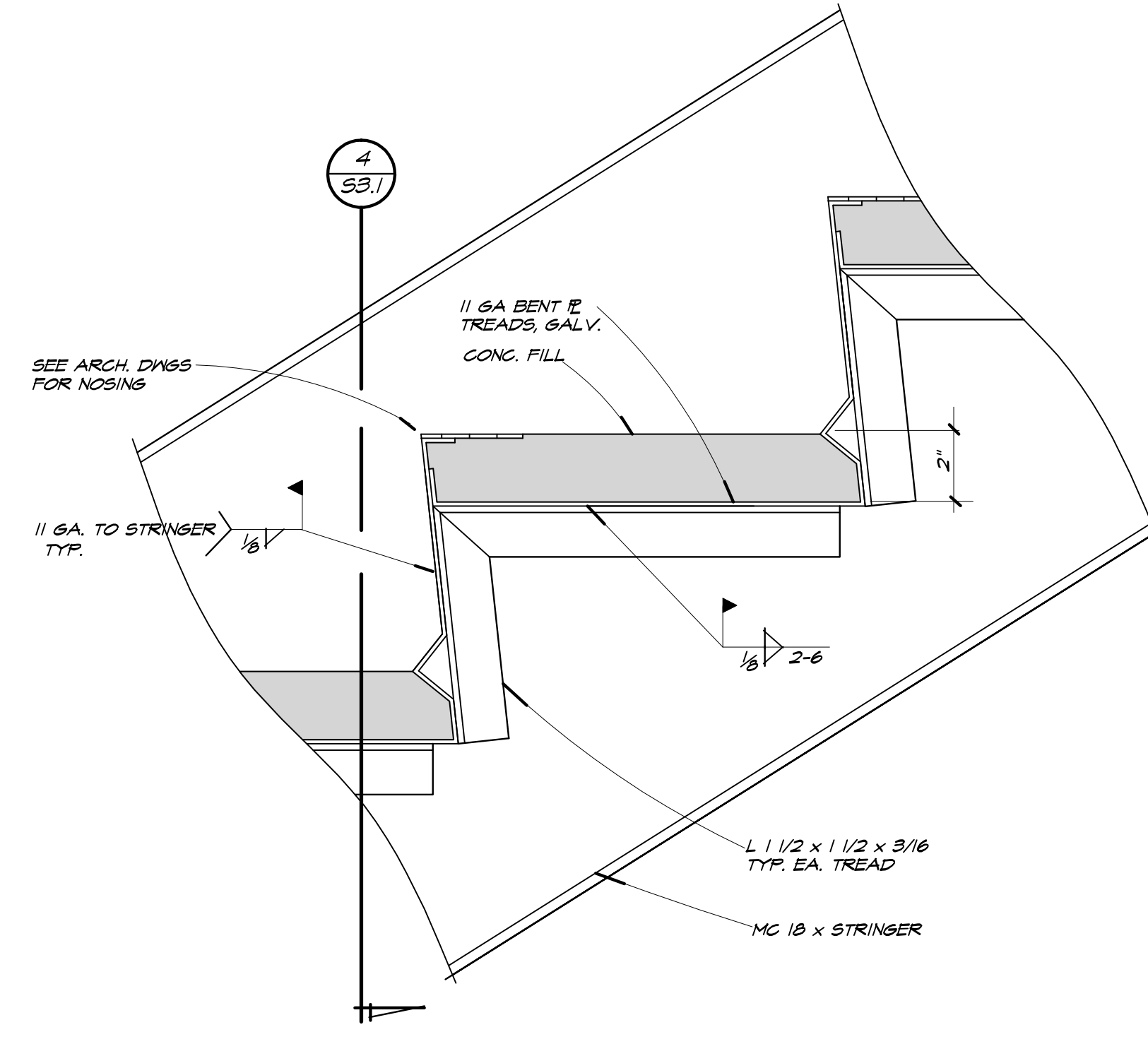
**DETAIL** 2  
3"=1'-0" S3.1



**DETAIL** 1  
3"=1'-0" S3.1



**DETAIL** 4  
3"=1'-0" S3.1



**DETAIL** 3  
3"=1'-0" S3.1

**\* REPAIR SEQUENCING**

1. REMOVE ALL (E) ANGLES, CLIPS, TABS, PLATES, ETC. FOR TREADS AND LANDING FRAMING; GRIND SURFACE TO REMAIN SMOOTH.
2. SAND BLAST (E) STEEL TO REMAIN UNTIL TO WHITE METAL FINISH.
3. FASTEN (N) STEEL TO (E).
4. PRIME STRUCTURAL STEEL.
5. POUR CONCRETE FILL.
6. PAINT STRUCTURAL STEEL.

**Derivi Castellanos Architects**

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CIVIL AND STRUCTURAL ENGINEERS  
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Owner

**NEVADA UNION HIGH SCHOOL 'J' WING STAIR REPLACEMENT**

SHEET TITLE:  
**DETAILS**

SCALE: AS NOTED

Revision Schedule		
NO.	Description	Date

Drawn By: *BE*

Checked By:

PROJECT # SHEET #

DATE: **S3.1**